

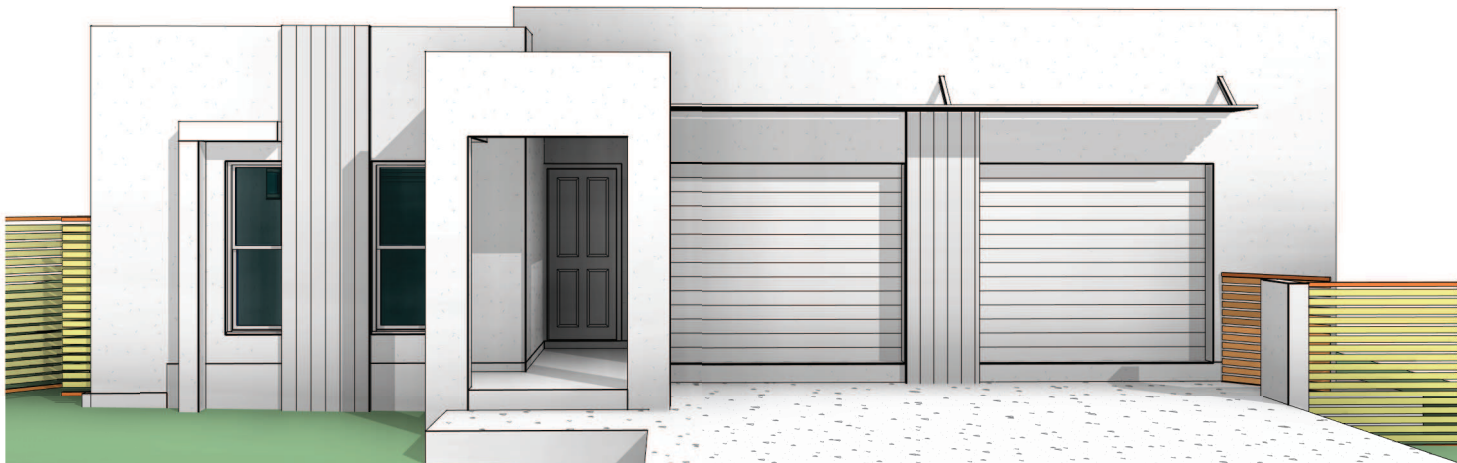
PROPOSED DUPLEX

FOR:

TROPICAL HOMES

AT:

**LOT 276 SHALE CIRCUIT
COSGROVE
TOWNSVILLE**



DRAWING SCHEDULE:

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6	STRIP FOOTING DETAILS	19	ROOF PLAN
7	RAFT FOOTING DETAILS	20	SUSTAINABILITY/ELECTRICAL PLAN
8	RAFT FOOTING DETAILS	21	DRAINAGE PLAN
9	SLAB PLAN	22	SITE DRAINAGE PLAN
10	SLAB PENETRATION PLAN	23	TIE DOWN MASONRY
11	FLOOR PLAN	24	TIE DOWN TIMBER
12	ELEVATIONS	25	WHS NOTES

Job No.- 19-142

CLIENT JOB NO. 2593

PRINT DATE:

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SITE AREAS:

SITE AREA	608 sqm
BUILT AREA	251.06 sqm
SITE COVERAGE	41.29 %

SITE DEVELOPMENT PLAN

1

1 : 100 AT A3 SHEET SIZE

NOTES:
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SCALED MEASUREMENTS - DO NOT SCALE DRAWING.
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A - BA/CONSTRUCTION ISSUE - 19/09/2019



PROJECT:
PROPOSED DUPLEX

CLIENT:
TROPICAL HOMES

SITE:
LOT 276 SHALE CIRCUIT
COSGROVE
TOWNSVILLE

BUILDER:

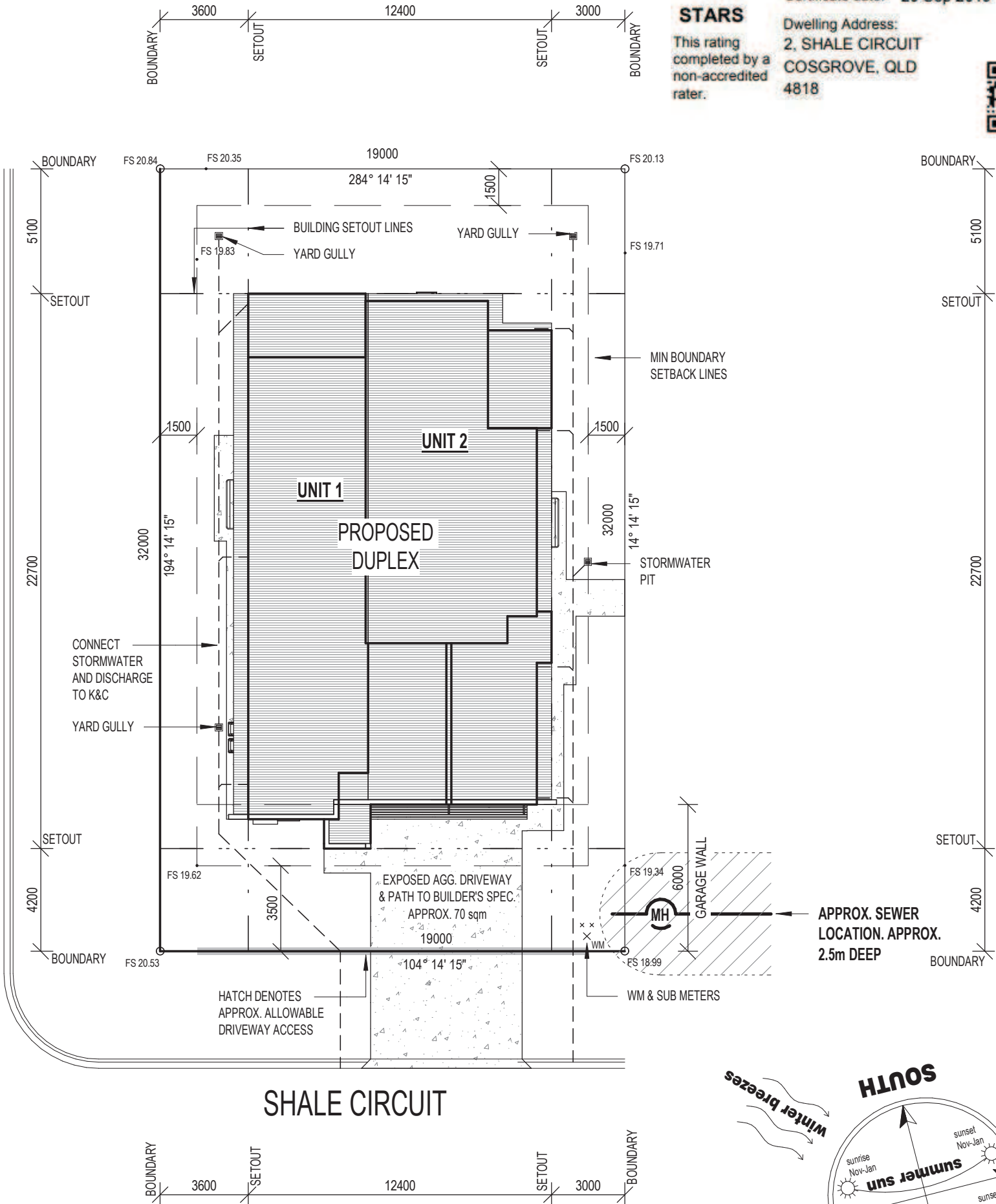


DATE: 21/09/2019 8:50:55 AM
DRAWN: B.W.
SCALE: 1 : 100
SHEET No. 1

JOB NO.
19-142

CLIENT JOB NO. 2593

THE ROCKS BOULEVARD



6.1
STARS

This rating
completed by a
non-accredited
rater.

Certificate no.: 0004222121
Assessor Name: Ben Milbourne
Certificate date: 20 Sep 2019

Dwelling Address:
1, SHALE CIRCUIT
COSGROVE, QLD
4818



7.3
STARS

This rating
completed by a
non-accredited
rater.

Certificate no.: 0004222147
Assessor Name: Ben Milbourne
Certificate date: 20 Sep 2019

Dwelling Address:
2, SHALE CIRCUIT
COSGROVE, QLD
4818



SITE DRAINAGE NOTES

- ALL DOWN PIPES, CONDENSATE/FLOOR-WAST OUTLETS AND HOSE COCKS ARE TO DISCHARGE INTO A STORM WATER DRAIN OR ABOVE AN IMPERVIOUS SURFACE SUCH AS A CONCRETE SLAB OR PAVER. THE IMPERVIOUS SURFACE SHALL EXTEND TO AT LEAST 500mm FROM THE BUILDING.
- ALL GROUND LEVELS AROUND THE BUILDING SHALL FALL AWAY FROM THE BUILDING OVER A DISTANCE OF AT LEAST 1m. THE FALL SHALL BE AT LEAST 15mm FOR CONCRETE/PAVEMENT SURFACE OR 50mm FOR LAWN/GRASSED SURFACE.
- ANY EXPOSED EARTH UNDER THE BUILDING (TIMBER DECKS, SUSPENDED SLABS ETC) SHALL BE GRADED TO FALL OUT FROM UNDER THE BUILDING AT A MINIMUM 10mm PER METER RUN. WHERE THESE FLOWS ARE CONCENTRATED TO DISCHARGE THROUGH A NARROW OPENING, AN IMPERVIOUS SURFACE SHALL BE PROVIDED SIMILAR TO ITEM 1 ABOVE.
- ALL REMAINING GROUND LEVELS ON THE SITE WITHIN 10m OF THE STRUCTURE SHALL FALL TO STORM WATER PITS OR OTHER LAWFUL POINT OF DISCHARGE AT 1:200 (5mm/m).
- UNDERGROUND STORMWATER DRAKE SHALL BE 90mm PVC WITHIN THE PROPERTY BOUNDARY FALLING AT 1:250 (4mm/m). WHERE THE DRAINAGE CROSSES THE BOUNDARY INTO THE ROAD RESERVE, THE PIPE SHALL TRANSITION TO A 100mm SN10. DISCHARGE TO KERB AND CHANNEL SHALL BE WITH AN APPROPRIATE GALV. STEEL ADAPTOR AS SPECIFIED BY THE LOCAL COUNCIL TO MATCH THE KERB PROFILE.
- THE BUILDER SHALL ENSURE THAT NO PONDING OF ANY WATER OCCURES WITHIN 2m OF THE FOOTPRINT OF THE STRUCTURE AT ANY TIME DURING OR AFTER CONSTRUCTION.
- ALL DRAINAGE LINES PASSING UNDER THE BUILDING ENVELOPE SHALL BE PROVIDED WITH TWO FLEXIBLE CONNECTIONS OUTSIDE THE BUILDING. REFER TO THE ATTACHED 'DRAINAGE DETAIL' FOR LENGTHS AND FALLS.
- WATER SUPPLY TO THE BUILDING SHALL BE AS PER LOCAL COUNCIL REQUIREMENTS BUT MUST BE COPPER PIPE WITHIN 500mm OF THE BUILDING UNTIL WITHIN THE BUILDING. ALL PRESSURISED LINES SHALL BE RUN WITHIN THE CEILING, WALLS, OR ENVELOPER PIPE WITHIN THE SLAB. NO PRESSURISED PIPES ARE TO BE RUN UNDER THE SLAB.
- GARDENS ADJACENT TO THE BUILDING SHOULD BE AVOIDED. WHERE GARDENS ARE PLACED NEXT TO THE BUILDING, A 600mm WIDE MULCH/PAVED STRIP SHOULD BE MAINTAINED BETWEEN THE WALL AND PLANTS TO ALLOW ACCESS FOR MAINTENANCE AND PRUNING. PLANTS WITHIN 2.5m OF THE BUILDING SHOULD HAVE A MAXIMUM HEIGHT OF 2.5m. TREES SHALL BE PLANTED AT LEAST THEIR MAXIMUM HEIGHT AWAY FROM THE BUILDING. IRRIGATION SHOULD BE INSTALLED TO SPRAY AWAY FROM THE BUILDING, NOT TOWARDS IT.
- THE OWNER SHALL BE PROVIDED WITH A COPY OF CSIRO'S DOCUMENT 'FOUNDATION MAINTENANCE & FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE' (BTF18-2001) AND MADE AWARE OF THE IMPORTANCE TO MAINTAIN PROPER DRAINAGE.
- REPAIR OF ALL LEAKS SHOULD BE CARRIED OUT PROMPTLY, NORMALLY WITHIN WEEKS.

1

SITE SETOUT PLAN

1 : 200 AT A3 SHEET SIZE

FOR CONSTRUCTION

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A - BA/CONSTRUCTION ISSUE - 19/09/2019



PROJECT:
PROPOSED DUPLEX

CLIENT:
TROPICAL HOMES

SITE:
LOT 276 SHALE CIRCUIT
COSGROVE
TOWNSVILLE

BUILDER:



DATE: 21/09/2019 8:50:55 AM
DRAWN: IC
SCALE: 1 : 200

SHEET No. 2
CLIENT JOB NO. 2593
JOB NO. 19-142

BUILDING FOOTPRINT
251.06 sqm
SITE COVERAGE
41.29%

PROPERTY
DESCRIPTION

LOT 276
SP 313074
AREA 608 m²

NOTE:
STORM WATER RUN OFF TO
BE DRAINED AWAY FROM
NEIGHBORING ALLOTMENTS.

STANDARD WALL ROBES, LINEN AND BROOM CABINETS
FITOUTS BY CARPENTER UNLESS NOTED OTHERWISE.

CONDENSATION MANAGEMENT:

1. PLIABLE BUILDING MEMBRANE TO COMPLY WITH PART 3.8.7.2 VOL 2 NCC 2019 BCA.
2. FLOW RATE & DISCHARGE OF EXHAUST SYSTEMS TO COMPLY WITH PART 3.8.7.3 VOL 2 NCC 2019 BCA
3. VENTILATION OF ROOF SPACES TO COMPLY WITH PART 3.8.7.4 VOL 2 NCC 2019 BCA

STEELWORK:
TO COMPLY WITH A.S.4100 & A.S.4600
ALL STEELWORK TO BE PRIMED AND
PAINTED. ALL WELDS TO BE 6.0mm
CONTINUOUS FILLET WELDS (CFW).

INTERNAL TIMBER FRAMED WALLS :
TIMBER STUD WALLS WITH 70x35
MGP10 STUDS AT 450 CRS.1/ROW OF
NOGGING, SHEET BOTH SIDES WITH
10mm PLASTERBOARD, 6.0mm F/C
SHEETING TO WET AREAS.

INTERNAL LOAD BEARING TIMBER
FRAMED WALLS : ILBW
TIMBER STUD FRAMING WITH 70x45
MGP12 STUDS AT 450 MAX CRS, 1/ROW
OF NOGGING. PROVIDE 35x70 MGP12
BOTTOM PLATE. PROVIDE 2/45x70 MGP12
TOP PLATES. PROVIDE M12 CYCLONE
RODS AT 900 MAX CRS DIRECTLY TIED
DOWN TO FOOTING, ENSURE CYCLONE
RODS ARE WITHIN 100mm OF THE
TRUSSES. ALTERNATIVELY USE
CHEMSET 801 SERIES INSTALLED TO
MANUF. SPEC. WITH 150mm EMBEDMENT.
SHEET BOTH SIDES WITH 10mm
PLASTERBOARD, 6.0mm F/C SHEETING
TO WET AREAS.

TRUSSES OVER INTERNAL LOAD BEARING TIMBER WALLS TO BE DIRECTLY TIED DOWN TO FOOTING

NOTE :
THE KITCHEN CUPBOARD LAYOUT SHOWN ON THIS PLAN IS ONLY AN INDICATIVE LAYOUT. THE FINAL DESIGN SHALL BE DETERMINED BY THE BUILDER'S P.C. ALLOWANCE SHOWN IN THE BUILDING CONTRACT.


















AIR CONDITIONERS :
VERIFY AIR CONDITIONER SIZES PRIOR
TO COMMENCEMENT
OF CONSTRUCTION. A/C UNITS SHOWN
ON THE DRAWINGS ARE INDICATIVE
ONLY.

GARAGE DOORS :
ALL GARAGE ROLLER DOORS AND
PANEL LIFT DOORS TO BE PROVIDED
WITH WINDLOCKS AND COMPLY TO
AS1170.2 AND AS4055.

DOWNPIPES :
ALL DOWNPIPES TO BE DISCHARGED
ONTO 300x300 CONCRETE
SPLASHPADS. ALTERNATIVELY PIT
AND PIPE STORMWATER TO KERB &
CHANNEL AS PER BUILDER'S SPEC.

NOTE :
TOILET DOORS TO BE PROVIDED WITH
LIFT OFF HINGES TO ALL RELEVANT
BCA REQUIREMENTS.

LEGEND

	INTERLINKED SELF CONTAINED SMOKE ALARMS TO COMPLY WITH A.S. 3786 AND BE CONNECTED TO THE CONSUMER MAINS POWER WITH BATTERY BATTERY BACK UP.
	METER BOX POWER SUPPLY
	ELECTRIC HOT WATER SYSTEM
	GAS HOT WATER SYSTEM
	GAS BOTTLES
	EXHAUST FAN 25Ltrs/sec for bath/lwc rooms EXHAUST FAN 40Ltrs/sec for laundry/kitchen
	FLOOR WASTE
	EXTERNAL GARDEN TAP
	EXTERNAL GAS POINT
	90mm UPVC DOWN PIPE
	TOILET ROLL HOLDER
	TOWEL RAIL
	HAND TOWEL HOLDER
	SHELVES
	SHOWER HEAD
	CEILING SHOWER HEAD
	EXAMPLE: 1518 = 1500 HIGH x 1800 WIDE

AREAS UNIT 1:	
LIVING	90.31 sqm
GARAGE	22.26 sqm
PATIO	12.71 sqm
PORCH	4.49 sqm
TOTAL	129.77 sqm

AREAS UNIT 2:	
LIVING	84.55 sqm
GARAGE	24.00 sqm
PATIO	10.40 sqm
PORCH	2.34 sqm
TOTAL	121.29 sqm

OVERALL TOTAL: 251.06

1

1 : 100 AT A3 SHEET SIZE

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DESIGNS

BUILDING DESIGN & DRAFTING

ABN: 112 837 297
Licence No. 1072298
46 Hugh Ryan Drive, Garbutt QLD 4814
PO Box 4257, Vincent QLD 4814
Tel: (07) 4779 4199

PROJECT:
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CLIENT:
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LOT 276 SHALE CIRCUIT
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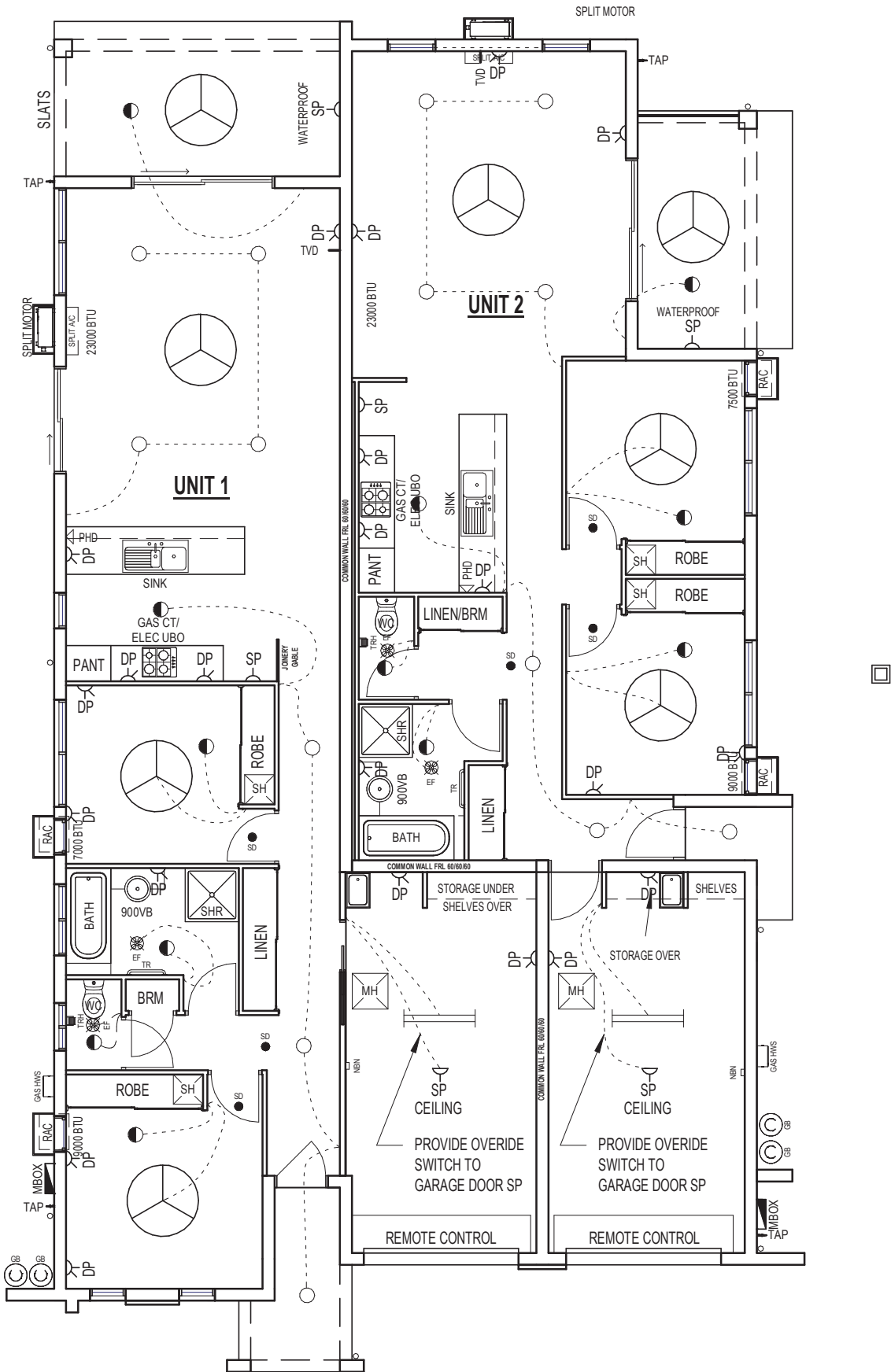
PARKSIDE
CONSTRUCTIONS

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DRAWN:	IC

SCALE:	1 : 100		
SHEET No.	11	CLIENT JOB NO.	2593

NO VENTILATED RECESSED
LIGHTS TO BE USED (SEALED
UNITS ONLY)



SUSTAINABLE BUILDING REQUIREMENTS

SHOWER ROSES:
TO BE AAA RATED WHEN ASSESSED AGAINST AS/NZ 6400:2004 or A 3 STAR RAFTING UNDER WATER EFFICIENCY LABELING SCHEME (WELS)

TAP WARE:
3-STAR WELS RATED TAPWARE TO KITCHEN SINKS, BATHROOM, BASINS & LAUNDRY TROUGHS.

WATER SUPPLY:
IF THE MAIN WATER PRESSURE EXCEEDS or COULD EXCEED 500Kpa, A WATER PRESSURE LIMITING DEVICE IS INSTALLED TO ENSURE THAT THE MAX. OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500 Kpa.

TOILETS:
TOILET CISTERNS HAVE DUAL FLUSH CAPABILITY TO 4 STAR WELS RATED

ENERGY EFFICIENT (E.E.) LIGHTING:
FLUORESCENT LIGHTS OR COMPACT FLUORESCENT LIGHTS (CFLs) ARE USED IN 80% OF THE TOTAL AMOUNT OF LIGHT FITTINGS.
SUGGESTED MIN REQUIREMENTS:
PROVIDE E.E. LIGHTING AS MAIN LIGHTING TO GARAGE, BEDROOMS & WET AREAS.

HOT WATER SUPPLY:
HOT WATER SUPPLY IS TO BE PROVIDED BY:
(a) HEAT PUMP or SOLAR HOT WATER SYSTEM THAT IS ELIGIBLE TO RECEIVE:
(i) IN A BUILDING WITH 3 or MORE BEDROOMS, AT LEAST 22 RENEWABLE ENERGY CERTIFICATES (REC)
(ii) IN A BUILDING WITH 1 or 2 BEDROOMS, AT LEAST 14 REC.
OR
(b) A GAS HOT WATER SYSTEM WITH A FIVE STAR RATING.

INSTALLATION OF CEILING FANS IS ESSENTIAL TO ENSURE COMPLIANCE WITH ENERGY EFFICIENCY REQUIREMENTS.

ELECTRICAL LEGEND

ICON	DESCRIPTION
	1x1200 CEILING FAN. AND CONTROL
NOTE: CONTRACTOR TO COMPLY WITH ALL RELEVANT STANDARDS & CODES. LAYOUT SHOWN IS INDICATIVE ONLY	

ELECTRICAL LEGEND

	QTY
	14
	12
	2
	2
	22
	6
	2
	0
	8
	4
	0
	6

SUSTAINABILITY/ELECTRICAL PLAN

1

1 : 100 AT A3 SHEET SIZE

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TOWNSVILLE

BUILDER:



DATE:	21/09/2019 8:51:08 AM	JOB NO.
DRAWN:	IC	19-142
SCALE:	1 : 100	
SHEET No.	20	CLIENT JOB NO. 2593