



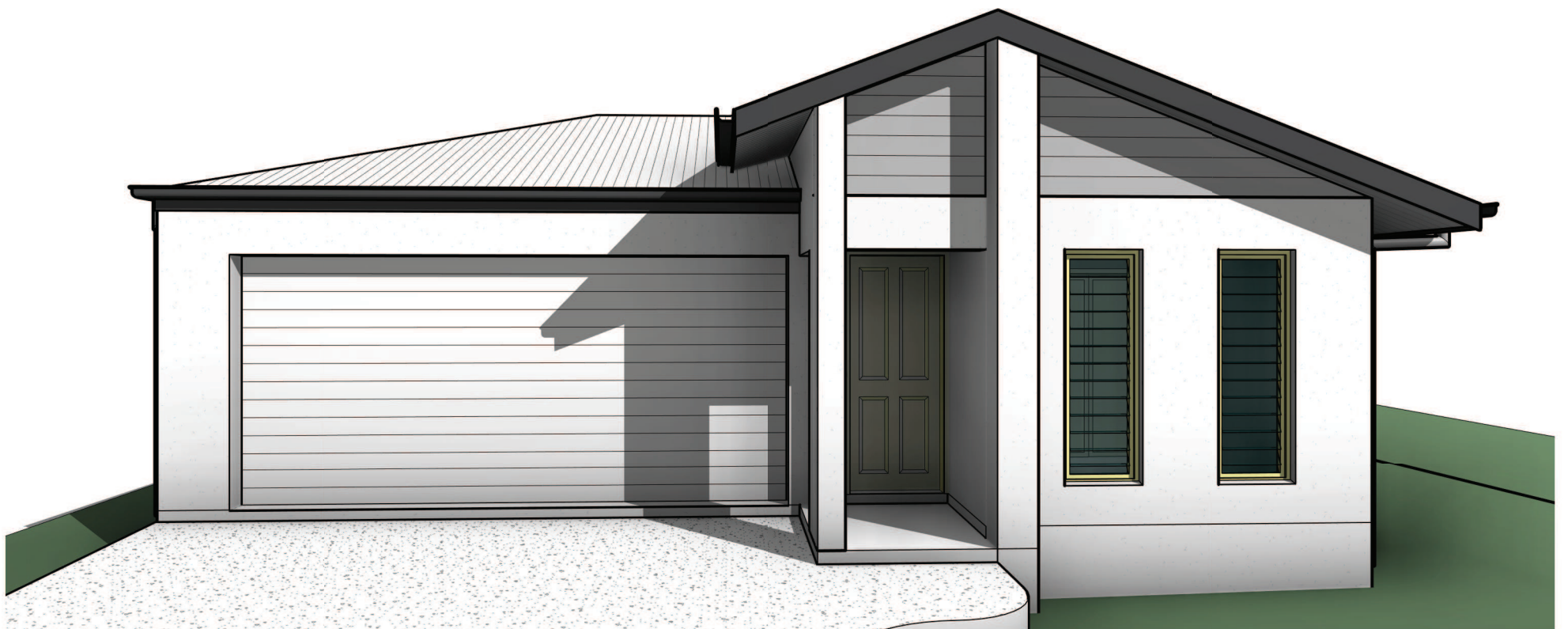
# NEW RESIDENCE

FOR:

**PARKSIDE CONSTRUCTIONS**

AT:

**LOT 253 SHALE CIRCUIT  
COSGROVE, TOWNSVILLE**



## DRAWING SCHEDULE:

0	COVER SHEET	10	ELEVATIONS
1	SITE PLAN	11	BRACING/BLOCKWORK
2	FOOTING PLAN	12	SECTION/DETAILS
3	STRIP FOOTING DETAILS	13	DETAILS
4	STRIP FOOTING DETAILS	14	ROOF PLAN
5	RAFT FOOTING DETAILS	15	SUSTAINABILITY/ELECTRICAL PLAN
6	RAFT FOOTING DETAILS	16	DRAINAGE BLANKS
7	SLAB PLAN	17	TIE DOWN MASONRY
8	SLAB PENETRATION PLAN	18	TIE DOWN TIMBER
9	FLOOR PLAN	19	WHS NOTES

Job No.- 18-266  
CLIENT JOB NO. 2584  
PRINT DATE:  
6/06/2019 8:31:16 AM



Development Approval  
Decision Notice No  
102928  
**Devcert**  
Development Approval for Building Work  
is granted under the Building Act 1975,  
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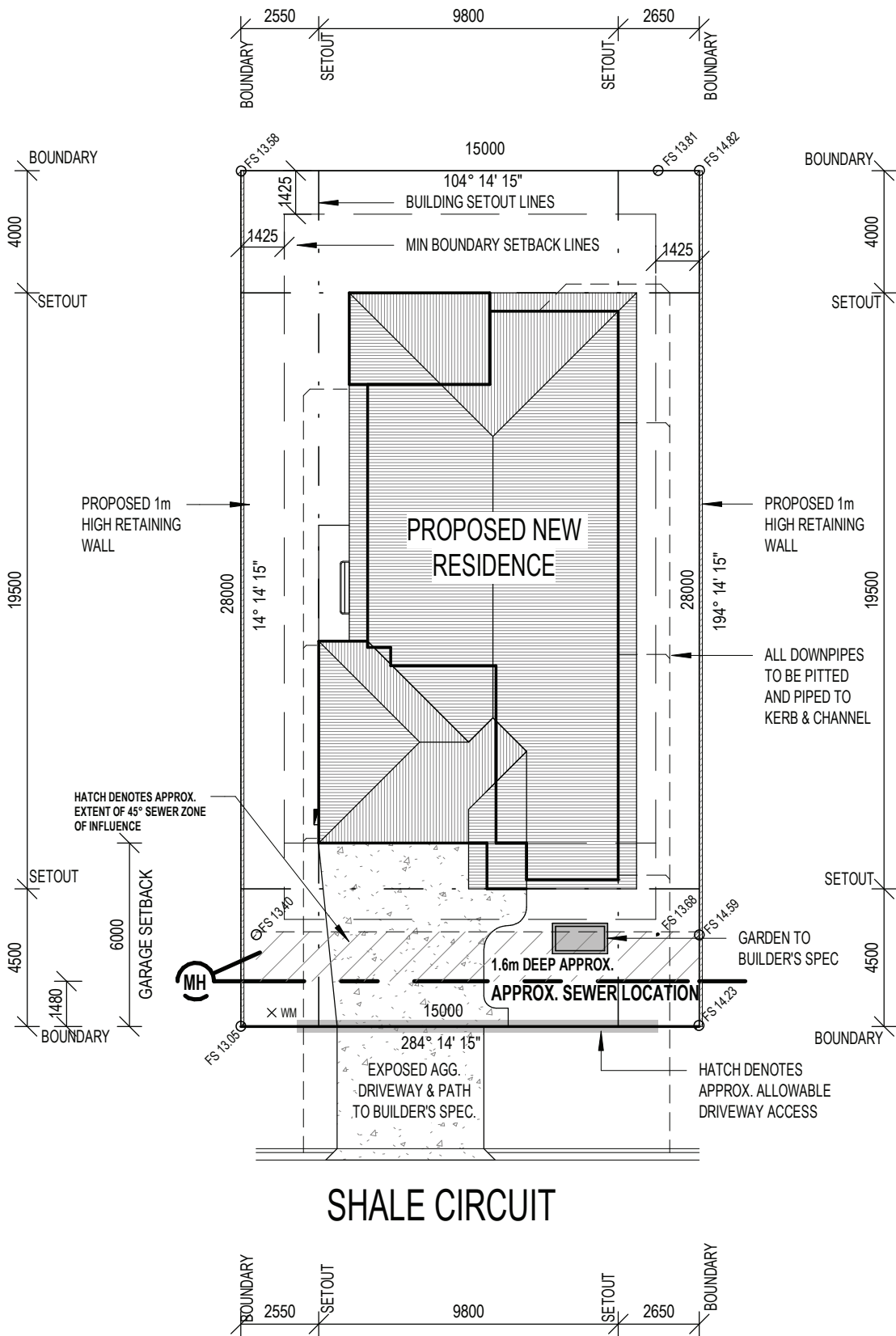
AMENDED PLANS  
07/06/2019  
**Devcert**

**7.1**  
**STARS**  
This rating  
completed by a  
non-accredited  
rater.

Certificate no.: 0003458122  
Assessor Name: Ben Milbourne  
Certificate date: 12 Dec 2018  
Dwelling Address:  
**SHALE CIRCUIT**  
**COSGROVE, QLD**  
**4818**

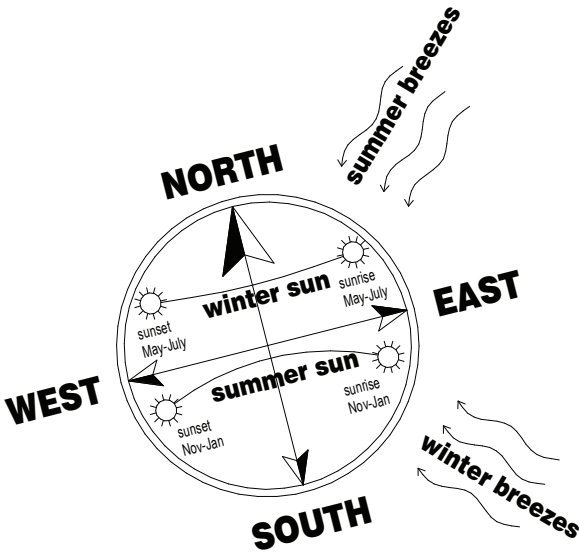


**SITE DRAINAGE & STORMWATER**  
- THE EARTHWORKS ADJACENT TO THE BUILDING IS TO BE GRADED AT 1:20 AWAY FROM THE BUILDING FOR A MINIMUM OF 1000mm AND THEN 1:200 TO THE LEGAL POINT OF DISCHARGE. DOWNPIPES AND TAP OUTLETS SHALL BE PROVIDED WITH A CONCRETE SPLASH PAD TO AVOID POINT AND EXCESSIVE WETTING OF THE SOIL ADJACENT TO THE STRUCTURE. AIR-CONDITIONING CONDENSATE OUTLETS, TOILET OVERFLOW PIPES AND HOT WATER SYSTEM PRESSURE RELIEF OUTLETS ARE ALSO POTENTIAL WATER PROVIDING SOURCES THAT THE CONTRACTOR SHALL ENSURE DOES NOT CAUSE EXCESSIVE WETTING OF THE SOIL ADJACENT TO THE STRUCTURE. - TREES, GARDEN BEDS AND LANDSCAPING MUST BE KEPT WELL AWAY FROM THE BUILDING. RECOMMENDED MINIMUM CLEARANCE DISTANCE IS THE HEIGHT OF THE MATURE TREE AND 1.5 TIMES THE HEIGHT OF THE MATURE TREE FOR A GROUP OF TREES. THE BUILDER/CONTRACTOR/BUILDING CERTIFIER SHALL INSTRUCT THE OWNER OF THEIR RESPONSIBILITY FOR MAINTENANCE OF THE AREA AROUND THE BUILDING IN ACCORDANCE WITH CSIRO SHEET No. 10-91 AND QBCC GUIDELINE "A SIMPLE HOW TO GUIDE FOR PREVENTING STRUCTURAL DAMAGE TO YOUR HOME"



**Finished Floor Level shall be a minimum of 225mm above Finished Ground Level**

**SCOPE OF BUILDING WORKS APPROVED**  
The scope of building works approved by this development permit is limited to the single detached dwelling. Other than the proposed building works, no other building works shown, detailed or otherwise referenced on the approved plans have been assessed for compliance and are not approved as lawfully existing or for construction by this development permit



**1** **SITE PLAN**  
1 : 200 AT A3 SHEET SIZE

**FOR CONSTRUCTION**

**NOTES:**  
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COMPLY WITH ALL RELEVANT AUTHORITY REG. & B.S.A. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS - DO NOT SCALE DRAWING. VERIFY ALL ON SITE DIMENSIONS & LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

PROJECT ISSUE & DESCRIPTION  
A - BA/CONSTRUCTION ISSUE - 11-12-2018  
B - REVISE SITE LOCATION - 06/06/2019



**PROJECT:**  
NEW RESIDENCE  
**CLIENT:**  
PARKSIDE CONSTRUCTIONS  
**SITE:**  
LOT 253 SHALE CIRCUIT  
COSGROVE, TOWNSVILLE



**BUILDER:**  
DATE: 6/06/2019 8:31:16 AM  
DRAWN: IC  
SCALE: 1 : 200  
SHEET No. 1  
JOB NO. 18-266  
CLIENT JOB NO. 2584

<b>BUILDING FOOTPRINT</b> 162.99 sqm <b>SITE COVERAGE</b> 38.80%	<b>PROPERTY DESCRIPTION</b>
<b>NOTE:</b> STORM WATER RUN OFF TO BE DRAINED AWAY FROM NEIGHBORING ALLOTMENTS.	<b>LOT</b> 253 <b>SP</b> 307201 <b>AREA</b> 420 m <sup>2</sup>



ALPHA 400B

JOINERY SCOPE:  
KITCHEN BY JOINER  
LAUNDRY IF APPLICABLE BY JOINER  
STUDY DESK IF APPLICABLE BY JOINER  
PANTRY FITOUT - CONFIRM WITH BUILDER  
WALK IN ROBE FITOUT - CONFIRM WITH BUILDER  
VANITIES - CONFIRM WITH BUILDER  
FEATURE SHELVES - CONFIRM WITH BUILDER  
  
STANDARD WALL ROBES, LINEN AND BROOM CBD  
FITOUTS BY CARPENTER UNLESS NOTED OTHERWISE.

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TROPICAL NOTE:  
- ALL SHR HEADS TO BE CENTRAL OF SHR ON WALL 1850mm FROM F.L  
- (ON NIB WALL) ALL MIXERS TO BE LOCATED 1150mm FROM F.L  
- (NOT ON NIB WALL) ALL MIXERS TO BE LOCATED CENTRAL ON WALL 1150mm FROM F.L  
- BATH TUB SPOUTS TO BE LOCATED CENTRAL TO BATH 150mm ABOVE TUB AT DRAIN END  
- BATH TUB MIXERS TO BE LOCATED CENTRAL TO BATH 450mm ABOVE TUB AT DRAIN END  
- FRIDGE TAPS TO BE LOCATED 2000mm FROM F.L  
- TOILET TAPS TO BE LOCATED ON BACK TOILET WALL 250mm FROM F.L  
- TOILET TAPS TO BE LOCATED 200mm-300mm OFFSET TO WASTE OUTLET  
- WASHING MACHINE TAPS TO BE LOCATED 300mm FROM F.L INSIDE L'DRY CABINET

DESIGN WIND  
CLASSIFICATION : C1

INTERNAL TIMBER FRAMED WALLS :  
TIMBER STUD WALLS WITH 70x35  
MGP10 STUDS AT 450 CRS, 1/ROW OF  
NOGGING. SHEET BOTH SIDES WITH  
10mm PLASTERBOARD, 6.0mm F/C  
SHEETING TO WET AREAS.

INTERNAL LOAD BEARING TIMBER  
FRAMED WALLS : ILBW  
TIMBER STUD FRAMING WITH 70x45  
MGP12 STUDS AT 450 MAX CRS, 1/ROW  
OF NOGGING. PROVIDE 35x70 MGP12  
BOTTOM PLATE. PROVIDE 2/45x70 MGP12  
TOP PLATES. PROVIDE M12 CYCLONE  
RODS AT 900 MAX CRS DIRECTLY TIED  
DOWN TO FOOTING. ENSURE CYCLONE  
RODS ARE WITHIN 100mm OF THE  
TRUSSES. ALTERNATIVELY USE  
CHEMSET 801 SERIES INSTALLED TO  
MANUF. SPEC. WITH 150mm EMBEDMENT.  
SHEET BOTH SIDES WITH 10mm  
PLASTERBOARD, 6.0mm F/C SHEETING  
TO WET AREAS.

TRUSSES OVER INTERNAL LOAD  
BEARING TIMBER WALLS TO BE  
DIRECTLY TIED DOWN TO FOOTING

STEELWORK:  
TO COMPLY WITH A.S.4100 & A.S.4600  
ALL STEELWORK TO BE PRIMED AND  
PAINTED. ALL WELDS TO BE 6.0mm  
CONTINUOUS FILLET WELDS ( CFW ).

NOTE :  
THE KITCHEN CUPBOARD LAYOUT  
SHOWN ON THIS PLAN IS  
ONLY AN INDICATIVE LAYOUT. THE FINAL  
DESIGN SHALL BE DETERMINED BY THE  
BUILDER'S P.C. ALLOWANCE SHOWN IN  
THE BUILDING CONTRACT.

AIR CONDITIONERS :  
VERIFY AIR CONDITIONER SIZES PRIOR  
TO COMMENCEMENT  
OF CONSTRUCTION. A/C UNITS SHOWN  
ON THE DRAWINGS ARE INDICATIVE  
ONLY.

GARAGE DOORS :  
ALL GARAGE ROLLER DOORS AND  
PANEL LIFT DOORS TO BE PROVIDED  
WITH WINDLOCKS AND COMPLY TO  
AS1170.2 AND AS4055.

DOWNPIPES :  
ALL DOWNPIPES TO BE DISCHARGED  
ONTO 300x300 CONCRETE  
SPLASHPADS. ALTERNATIVELY PIT  
AND PIPE STORMWATER TO KERB &  
CHANNEL AS PER BUILDER'S SPEC.

NOTE :  
TOILET DOORS TO BE PROVIDED WITH  
LIFT OFF HINGES TO ALL RELEVANT  
BCA REQUIREMENTS.

LEGEND  

SD	INTERLINKED SELF CONTAINED SMOKE ALARMS TO COMPLY WITH A.S. 3786 AND BE CONNECTED TO THE CONSUMER MAINS POWER WITH BATTERY BATTERY BACK UP.
MBOX	METER BOX POWER SUPPLY
HWS	ELECTRIC HOT WATER SYSTEM
GAS HWS	GAS HOT WATER SYSTEM
GB	GAS BOTTLES
EF	EXHAUST FAN 10Ltrs/sec/sqm
FW	FLOOR WASTE
TAP	EXTERNAL GARDEN TAP
GAS	EXTERNAL GAS POINT
dp	90mm UPVC DOWN PIPE
TRH	TOILET ROLL HOLDER
TR	TOWEL RAIL
HT	HAND TOWEL HOLDER
SH	SHELVES
SHH	SHOWER HEAD
CSH	CEILING SHOWER HEAD
WINDOW & DOOR SIZING	EXAMPLE: 1518 = 1500 HIGH x 1800 WIDE

ELEVATION KEY

AREAS  

LIVING	111.870 m²
GARAGE	35.370 m²
PATIO	13.800 m²
PORCH	1.950 m²
TOTAL	162.990 m²

1

FLOOR PLAN

1 : 100 AT A3 SHEET SIZE

FOR CONSTRUCTION

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A - BA/CONSTRUCTION ISSUE - 11-12-2018  
B - REVISE SITE LOCATION - 06/06/2019

**PREMIUM LIFESTYLE HOMES**

**CB & DESIGNS**  
BUILDING DESIGN & DRAFTING  
ABN: 112 837 297  
Licence No. 1072298  
46 Hugh Ryan Drive, Garbutt QLD 4814  
P.O Box 4257, Vincent QLD 4814  
Tel: (07) 4779 4199

PROJECT:  
NEW RESIDENCE

CLIENT:  
PARKSIDE CONSTRUCTIONS

SITE:  
LOT 253 SHALE CIRCUIT  
COSGROVE, TOWNSVILLE

BUILDER:  
**PARKSIDE CONSTRUCTIONS**

DATE:	6/06/2019 8:31:24 AM	JOB NO. 18-266
DRAWN:	IC	
SCALE:	1 : 100	
SHEET No.	9	CLIENT JOB NO. 2584

ALPHA 400B

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BUILDING EXPOSURE	DESIGN WIND
SUBURBAN	CLASSIFICATION : C1
PROVIDE BULK INSULATION TO CEILING SPACE OR APPROVED EQUIVALENT TO R2.5MIN	SPEEDBRACE ROOF CROSS BRACING REFER ROOF TRUSS MANUF.'S SPEC.

200 CONCRETE MASONRY BLOCKWORK  
RENDERED FINISH - MEDIUM COLOUR

PROPOSED 1m HIGH  
RETAINING WALL

RENDERED BLOCKWORK COLUMNS  
ALUMIN. FRAMED LOUVERS WITH  
CLEAR GLASS BLADES

HARDIES LINEA CLADDING

(COLUMN HEIGHTS TAKEN TO HIGHEST  
POINT FOLLOWING UNDERSIDE OF  
TRUSS TOP CHORD. RAKE DOWN FROM  
THIS HEIGHT)

WALL HT. 16.66 m

FLOOR PLAN 14.16 m

## ELEVATION 1

1 : 100 AT A3 SHEET SIZE

## ELEVATION 2

1 : 100 AT A3 SHEET SIZE

HATCH DENOTES IGNITION  
SOURCE EXCLUSION ZONE

200 CONCRETE MASONRY BLOCKWORK  
RENDERED FINISH - MEDIUM COLOUR

WALL HT. 16.66 m

FLOOR PLAN 14.16 m

## ELEVATION 3

1 : 100 AT A3 SHEET SIZE

PROVIDE UPSTAND TO TRUSSES,  
BLUEBOARD AND RENDER TO FACE  
OF UPSTAND

ALUMIN. FRAMED CLEAR  
GLASS WINDOWS & SLIDING  
GLASS DOORS TYP.

## ELEVATION 4

1 : 100 AT A3 SHEET SIZE

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**PREMIUM LIFESTYLE  
HOMES**

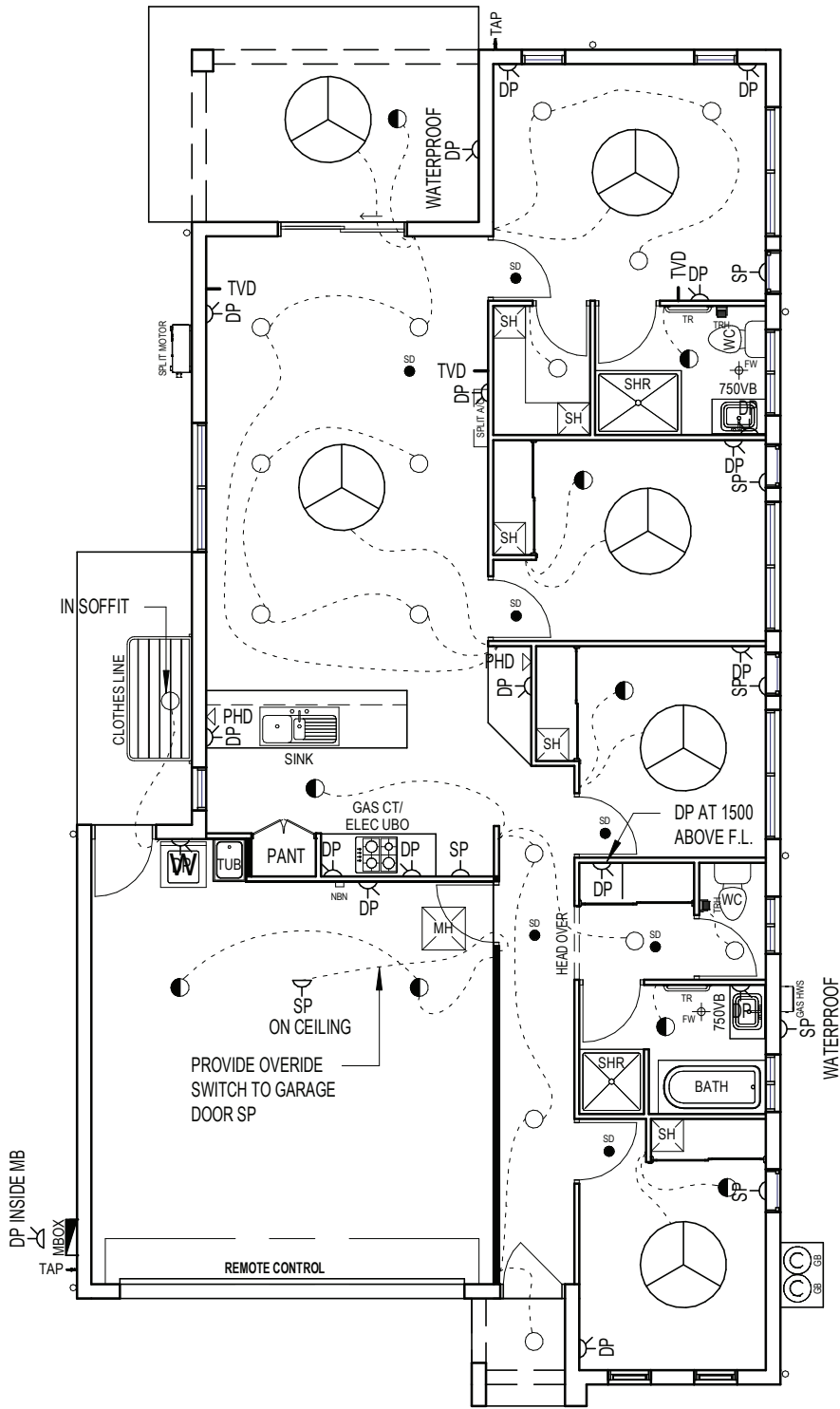
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BUILDER:  
**PARKSIDE  
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SHEET No.	10	CLIENT JOB NO. 2584

<div><div><div><div><div></div><div>DOWNLIGHT LED</div></div><div><div></div><div>ROUND SURFACE MOUNTED LED</div></div><div><div>PHD ▷</div><div>PHONE &amp; DATA</div></div><div><div>TVD —</div><div>TELEVISION &amp; DATA</div></div><div><div><div>DP</div><div>DOUBLE GPO</div></div><div><div>SP</div><div>SINGLE GPO</div></div><div><div>▷</div><div>DOUBLE FLOOD LIGHT</div></div><div><div><div></div><div>1200 CEILING FAN &amp; CONTROL</div></div><div><div>EF</div><div>EXHAUST FAN</div></div><div><div></div><div>BUNKER LIGHT</div></div><div><div><div>SD</div><div>SMOKE DETECTOR</div></div></div></div></div></div><div><div>QTY</div><div>16</div><div>9</div><div>2</div><div>3</div><div>19</div><div>7</div><div>0</div><div>6</div><div>0</div><div>0</div><div>7</div></div></div><tr><td colspan="2"><div><div>NO VENTILATED RECESSED LIGHTS TO BE USED (SEALED UNITS ONLY)</div></div></td><td><div><div><div>Development Approval</div><div>Decision Notice No</div><div>102928</div><div>Devcert</div><div>Development Approval for Building Work is granted under the Building Act 1975, subject to conditions of Decision Notice.</div></div><div><div>AMENDED PLANS</div><div>07/06/2019</div><div>Devcert</div></div></div></td><td><div><div>SUSTAINABLE BUILDING REQUIREMENTS</div><div><div>SHOWER ROSES:</div><div>TO BE AAA RATED WHEN ASSESSED AGAINST AS/NZ 6400:2004 or A 3 STAR RAFTING UNDER WATER EFFICIENCY LABELING SCHEME (WELS)</div></div><div><div>TAP WARE:</div><div>3-STAR WELS RATED TAPWARE TO KITCHEN SINKS, BATHROOM, BASINS &amp; LAUNDRY TROUGHS.</div></div><div><div>WATER SUPPLY:</div><div>IF THE MAIN WATER PRESSURE EXCEEDS or COULD EXCEED 500Kpa, A WATER PRESSURE LIMITING DEVICE IS INSTALLED TO ENSURE THAT THE MAX. OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500 Kpa.</div></div><div><div>TOILETS:</div><div>TOILET CISTERNS HAVE DUAL FLUSH CAPABILITY TO 4 STAR WELS RATED</div></div><div><div>ENERGY EFFICIENT (E.E.) LIGHTING:</div><div>FLUORESCENT LIGHTS OR COMPACT FLUORESCENT</div></div></div></td></tr></div>	<div><div>NO VENTILATED RECESSED LIGHTS TO BE USED (SEALED UNITS ONLY)</div></div>		<div><div><div>Development Approval</div><div>Decision Notice No</div><div>102928</div><div>Devcert</div><div>Development Approval for Building Work is granted under the Building Act 1975, subject to conditions of Decision Notice.</div></div><div><div>AMENDED PLANS</div><div>07/06/2019</div><div>Devcert</div></div></div>	<div><div>SUSTAINABLE BUILDING REQUIREMENTS</div><div><div>SHOWER ROSES:</div><div>TO BE AAA RATED WHEN ASSESSED AGAINST AS/NZ 6400:2004 or A 3 STAR RAFTING UNDER WATER EFFICIENCY LABELING SCHEME (WELS)</div></div><div><div>TAP WARE:</div><div>3-STAR WELS RATED TAPWARE TO KITCHEN SINKS, BATHROOM, BASINS &amp; LAUNDRY TROUGHS.</div></div><div><div>WATER SUPPLY:</div><div>IF THE MAIN WATER PRESSURE EXCEEDS or COULD EXCEED 500Kpa, A WATER PRESSURE LIMITING DEVICE IS INSTALLED TO ENSURE THAT THE MAX. OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500 Kpa.</div></div><div><div>TOILETS:</div><div>TOILET CISTERNS HAVE DUAL FLUSH CAPABILITY TO 4 STAR WELS RATED</div></div><div><div>ENERGY EFFICIENT (E.E.) LIGHTING:</div><div>FLUORESCENT LIGHTS OR COMPACT FLUORESCENT</div></div></div>
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1

SUSTAINABILITY/ELECTRICAL PLAN

1 : 100 AT A3 SHEET SIZE

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			CLIENT: PARKSIDE CONSTRUCTIONS			
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			<div>BUILDER:</div> <div></div> <div>PARKSIDE CONSTRUCTIONS</div>			
PROJECT ISSUE & DESCRIPTION		DATE:		6/06/2019 8:31:31 AM	JOB NO. 18-266	
A - BA/CONSTRUCTION ISSUE - 11-12-2018 B - REVISE SITE LOCATION - 06/06/2019		DRAWN:		B.W.		
		SCALE:		1 : 100		
		SHEET No.		15	CLIENT JOB NO.	2584